

# Magnox Alternative Premises: Alternative Emergency Control Centre and District Survey Laboratory

## Design, Access and Planning Statement





Aerial photo including the Power Station Site and the existing Magnox power station



# Contents

Section 1: Introduction	3
Section 2: Function of AECC and DSL	7
Section 3: Application Site and Proposed Development	8
Section 4: Pre-application Consultation	13
Section 5: Justification for Site Selection	14
Section 6: Design Approach	16
Section 7: Access	27
Section 8: Planning Statement	29
Appendix 1	33
Appendix 2	34

# 1: Introduction

**This report has been prepared to support a planning application submitted by Horizon Nuclear Power Wylfa Limited (Horizon) to Isle of Anglesey County Council (IACC) for the erection of a replacement Alternative Emergency Control Centre (AECC) and District Survey Laboratory (DSL) to serve the Magnox Power Station (now in decommissioning). The Application Site comprises 0.74 hectares (ha) and is located to the east of the A5025, to the north of the village of Treglele and to the south of the existing access road to the Magnox Power Station.**

The application has the following Description of Development:

*“Erection of replacement Alternative Emergency Control Centre and District Survey Laboratory facilities to support the Magnox Power Station, together with associated vehicle parking, cycle parking, refuse storage, security fencing, external lighting, CCTV cameras, soft and hard landscaping works, new vehicular access from adjacent unclassified road and road widening at the junction with the A5025.”*

## NEED FOR THE DEVELOPMENT

Horizon is seeking to undertake works to prepare the Wylfa Newydd National Policy Statement (NPS) site<sup>1</sup> and surrounding area for the construction of the Power Station in advance of the submission of the Development Consent Order (DCO) application. As a consequence of this a number of buildings within the Wylfa Newydd Development Area need to be removed. One of these buildings comprises the existing AECC and DSL for the Magnox Power Station which is currently accessed from the Cemlyn Road. These facilities are required to be retained for the Magnox Power Station and, therefore, their relocation to an alternative site is necessary.

This application is submitted in advance of applications seeking consent for the wider development associated with the Power Station as the relocated facilities are required to be constructed and handed over prior to demolition of the existing facilities. Demolition of the existing facilities will form part of a planning application incorporating site preparation and clearance works for the main Power Station, which is programmed for submission later in 2016 and in advance of Horizon’s application for a DCO.

## APPLICATION CONTEXT

This application is made in the context of the wider Wylfa Newydd Power Station development which is being promoted by Horizon.

Horizon is a UK energy company developing a new generation of nuclear power stations to help meet the UK’s need for stable and sustainable low carbon energy.

The development of low carbon energy is required as the UK faces significant energy challenges in the coming years, requiring substantial investment in new technologies and infrastructure as it seeks to meet the legally binding targets for the reduction of carbon emissions and for increasing use of alternative forms of energy.

The UK Government considers nuclear power to have an important role in meeting these challenges, and has identified a number of sites in the UK as suitable for development of new nuclear power stations. The Wylfa Newydd site is identified within the National Policy Statement for Nuclear Power Generation (EN-6) as a potentially suitable site for a new nuclear power station. The Wylfa Newydd NPS Boundary is shown at Figure 1.

Horizon is developing the Wylfa Newydd project, which includes both the Power Station and supporting facilities. The Power Station will include two UK Advanced Boiling Water Reactors (UK ABWR) to be supplied by Hitachi-GE Nuclear Energy Ltd together with associated plant and ancillary structures. A number of associated developments will support the Power Station delivery.

<sup>1</sup> As delineated in National Policy Statement EN-6



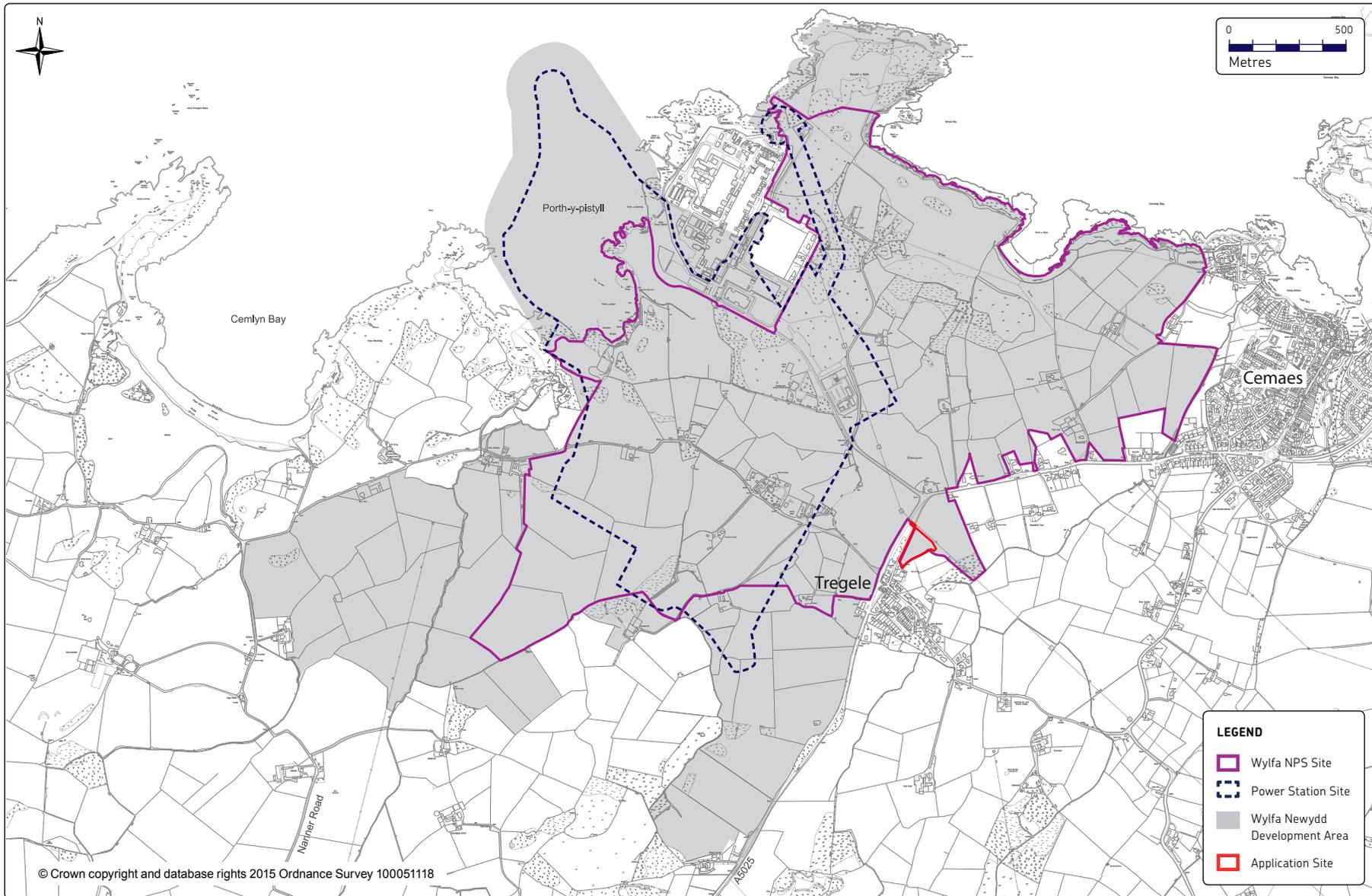


Figure 1: Geographic areas of project

## PURPOSE AND FORMAT OF THIS REPORT

This Report has been prepared to assess those matters relevant to the consideration of design and access in developing the application proposals, demonstrate the process in selecting this site to accommodate the facilities and to appraise the application against the requirements of planning policy and guidance to determine whether the proposal should, on balance, be granted planning permission.

The document contains the following sections:

- **Section 2: Function of AECC and DSL**  
This section explains why these facilities are required and how they function;
- **Section 3: Application Site and Proposals**  
This section provides detail of the Application Site and confirms the various developments which make up the development proposals, listing the plans and documents submitted to accompany the planning application to demonstrate the proposals and assess impacts;
- **Section 4: Pre-application Consultation**  
This section outlines the activities undertaken by Horizon to engage with relevant stakeholders in advance of the application submission to inform the proposals;
- **Section 5: Justification of Site Selection**  
This section outlines the justification for locating the AECC and DSL facilities at the Application Site, having regard to regulatory requirements, desire to avoid land subject to environmental or historic designation and planning policy and guidance requirements;
- **Section 6: Design Approach**  
This section outlines the rationale for the design of the proposals, having regard to the local context and design guidance;
- **Section 7: Access**  
This section outlines the proposed access arrangements to demonstrate appropriate provisions are made in this regard, including for people with disabilities;
- **Section 8: Planning Statement**  
This section considers the proposals against relevant planning policy and guidance to consider whether, on balance, planning permission should be granted for this development.

Although a Design and Access Statement is not statutorily required for this development, Horizon considers it helpful for consultees and the community to provide such a document to explain the proposals in these terms. As such, due regard has been given to the requirements for Design and Access Statements contained within the Town and Country Planning (Development Management Procedure) (Wales) (Amendment) Order 2016 at Sections 6 and 7 of this Report, which confirms such a document should:

- a) explain the design principles and concepts that have been applied to the development;
- b) demonstrate the steps taken to appraise the context of the development and how the design of the development takes that context into account;
- c) explain the policy or approach adopted as to access, and how policies relating to access in the development plan have been taken into account; and
- d) explain how any specific issues which might affect access to the development have been addressed.

## 2: Function of AECC and DSL

Currently, there is an on-site Emergency Control Centre (ECC) located at the Magnox Power Station which would be used in the unlikely event of an emergency at the power station by the emergency response team to manage that event. However, if the ECC cannot be used for any reason, the emergency response team need to be able to relocate to and make use of a suitably equipped alternative location, which requires IT and communications capacity and a conference style room for co-ordinating a response. This is the role of the AECC.

The AECC for the Existing Power Station is located in the Firs Building, accessed from Cemlyn Road, one mile to the south of the ECC, as shown at Figure 2. The AECC is co-located with the existing DSL. The DSL is a facility used by Magnox for the preparation and analysis of terrestrial and marine samples taken as part of the routine Environmental Monitoring Programme associated with the Magnox Power Station.

The Nuclear Decommissioning Authority (NDA) has advised Horizon that Magnox Limited needs to retain both the AECC and DSL in a combined facility and has outlined parameters for their relocation to ensure regulatory compliance<sup>2</sup>.

As stated in Chapter 1, the existing AECC and DSL are located in the Wylfa Newydd Development Area and need to be demolished prior to the commencement of construction for the proposed new Power Station. Consequently, there is a need for Horizon to provide suitably located and equipped alternative AECC and DSL premises for Magnox which is operationally tested prior to demolition works.

Note that these facilities are in addition to equivalent facilities which will be required by Horizon for the operation of the Wylfa Newydd Power Station (DSL termed Environmental Survey Laboratory for new Power Station development). These facilities are subject to different regulatory agreements regarding their location and operational requirements, so it is not possible to co-locate the facilities.

<sup>2</sup> Requirements outlined in Section 4 of this Report

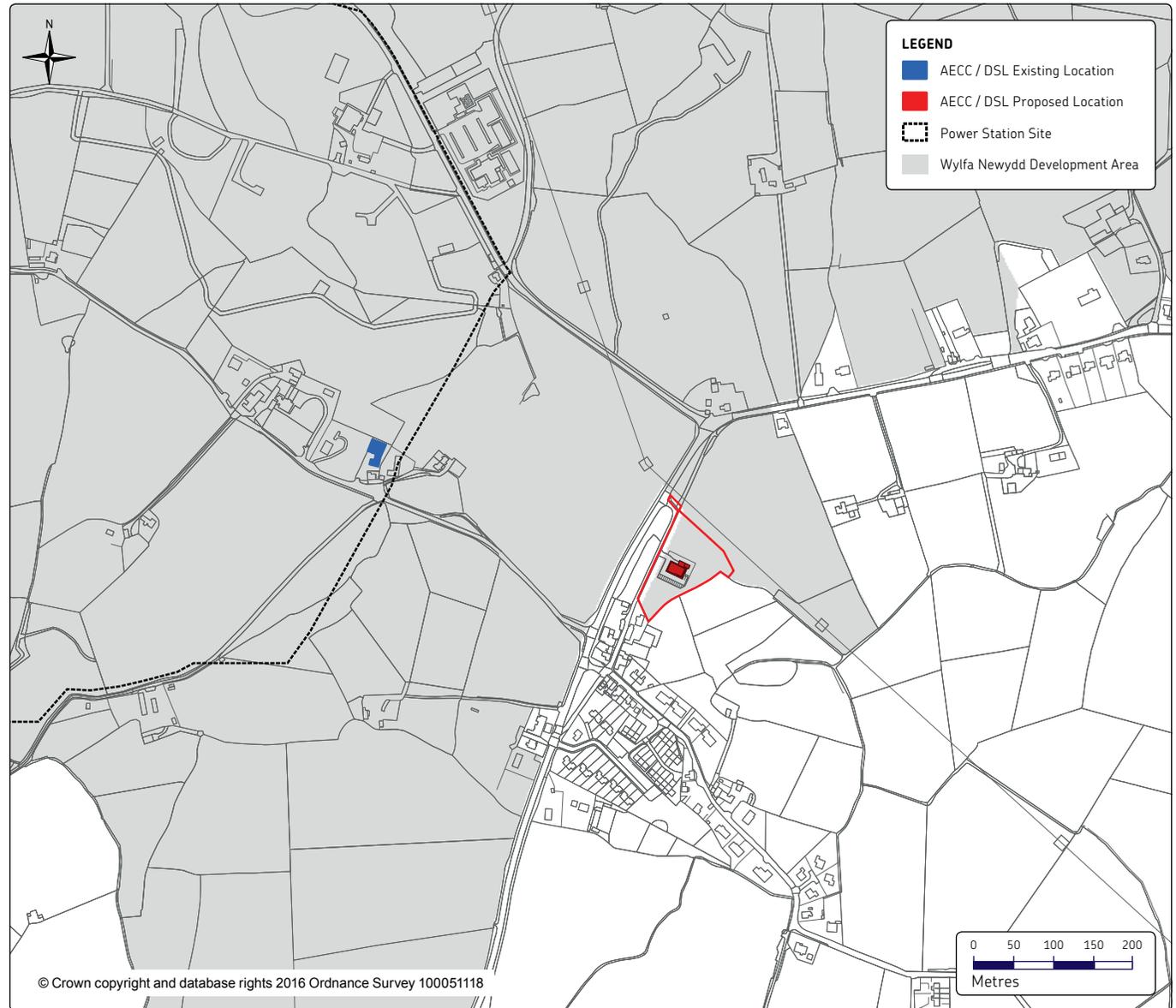


Figure 2: Location of the existing AECC / DSL and Application Site

## 3: Application Site and Proposed Development

### APPLICATION SITE

The Application Site is located to the east of the A5025, immediately to the north of the village of Tregale settlement boundary and to the south of the existing Magnox Power Station access road. The Application Site and surrounding area is shown at Figure 3.

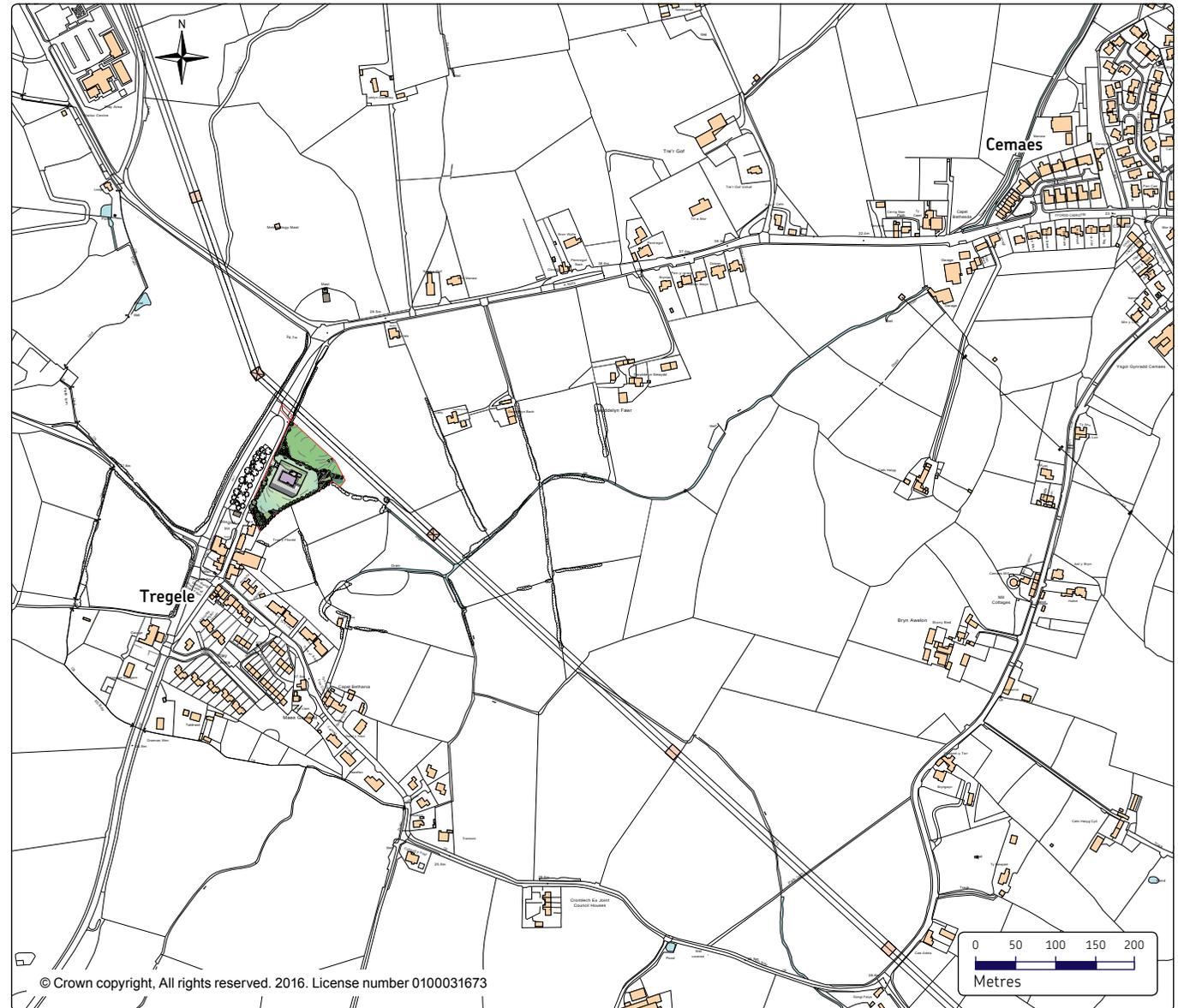


Figure 3: Application Site in context

The Application Site is a discrete parcel of land to the south of the existing 400kV overhead transmission line that connects to the Magnox Power Station. The Site is bounded on three sides by stone walls or hedgerows, with an open aspect to the existing field boundary beyond the Application Site. Properties within Tregelle, including dwellings and the currently closed Douglas Inn, are located to the south west of the site. An unclassified road (previous alignment of the A5025) which leads to the current A5025 to the north and Tregelle to the south runs alongside the western boundary of the site. The Application Site boundary is shown in Figure 4.

As previously confirmed, the site forms part of the area designated by the UK Government as being potentially suitable for nuclear development in National Policy Statement EN-6.

The site is not subject to any statutory designations relating to its environmental or historic value. However, it is within a locally defined Special Landscape Area, as with all of Anglesey on land outside of the AONB and defined settlement boundaries.

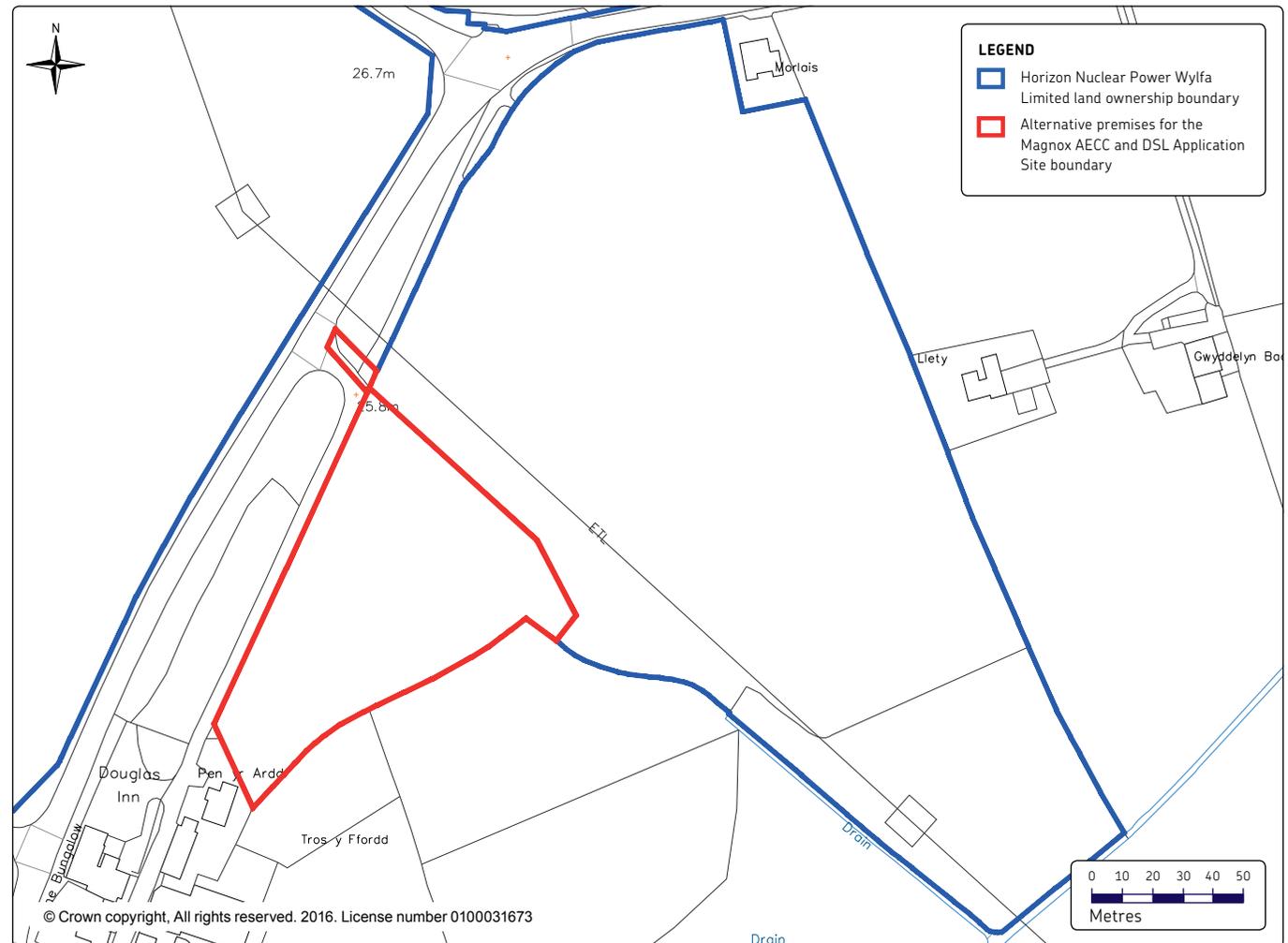


Figure 4: Application Site

## PROPOSED DEVELOPMENT

The proposals which form this planning application can be summarised as:

The provision of a secure site compound of 0.13ha comprising:

- Erection of a Main Building (length 18.5m, width 11.5m, height 3.8m);
- Erection of a Sample Preparation Room (length 5.7m, width 3.7m, height 3.8m);
- Installation of a mesh fence around the compound perimeter (height 3m) and access gates;
- Installation of a smaller compound to the rear of the Main Building enclosed by mesh fence (height 1.8m) and containing a back-up diesel generator, heating and cooling condensers, cycle stand and refuse storage area;
- Parking spaces for a total of 15 including 1 disabled space;
- Hard landscaping (e.g. block paving, boundary wall improvements, fencing);
- External lighting within car parking area and at the site entrance;
- Installation of five CCTV cameras affixed to the Main Building elevations;
- Installation of a UHF Radio antenna and a Nuclear Industry Airwave Signal antenna to the east elevation of the Main Building (an ICNIRP (International Commission on Non-Ionizing Radiation Protection) certificate for each of these installations is attached at Appendix 1);
- Installation of a satellite phone antenna to the east elevation of the Main Building.

Development outside of the main compound comprising:

- Installation of a new access onto the unclassified access road, with a field gate set back from the highway and external lighting at the entrance (leading to the compound access gate);
- Improvement and rebuilding of the boundary wall fronting the highway;
- Planting to the east, south and west to reinforce field boundaries;
- Planting a wildflower seed mix to land outside of the site compound and within field boundaries;
- Installation of a new field boundary to the north of the site comprising tree and hedgerow planting and installation of a stock-proof fence;
- Installation of an attenuation pond to capture surface water runoff to the north east of the site;
- Widening of the public highway at the junction with the A5025.

The Sample Preparation Room is provided in a separate building from the main facilities as:

- Delivery of terrestrial and marine samples can be made without the need for the individual delivering the samples to gain access to the Main Building;
- The impact, upon individuals working in the Main Building from the storage, handling and preparation of terrestrial and marine samples in the Sample Preparation Room, is minimised.

Waste arising from the activities undertaken within the DSL will be returned to the main site for disposal in accordance with Magnox's waste management arrangements for the Wylfa site. This arrangement replicates the existing facility.

The AECC and DSL are required during the decommissioning of the Magnox Power Station. The proposed development would in principle be suitable for a future use, such as for employment or community purposes, subject to market demand. Such a use would be secured via a future planning application.

## OPERATIONAL HOURS

The DSL will typically operate between 0800 and 1800 on weekdays, although it is possible that the facility would be used outside of these hours, including at weekends. The AECC would not be used in usual circumstances, but must be available at all times in case an emergency should occur. Training exercises using the AECC will also be undertaken approximately five times per year.

The number of people routinely occupying the Main Building will vary between two and four. During a training exercise, or an actual emergency, the number of people occupying the Main Building will increase to 25.

## FOUL DRAINAGE

The design intent for the disposal of sewage from the new premises is to discharge the sewage, under gravity, into the public sewer network. To connect into this network, it is anticipated that a lateral drain will need to be constructed across adjacent farmland to the north of Tregale. Horizon is in discussions with Welsh Water regarding this matter. The proposed connection route is provided at Figure 5.

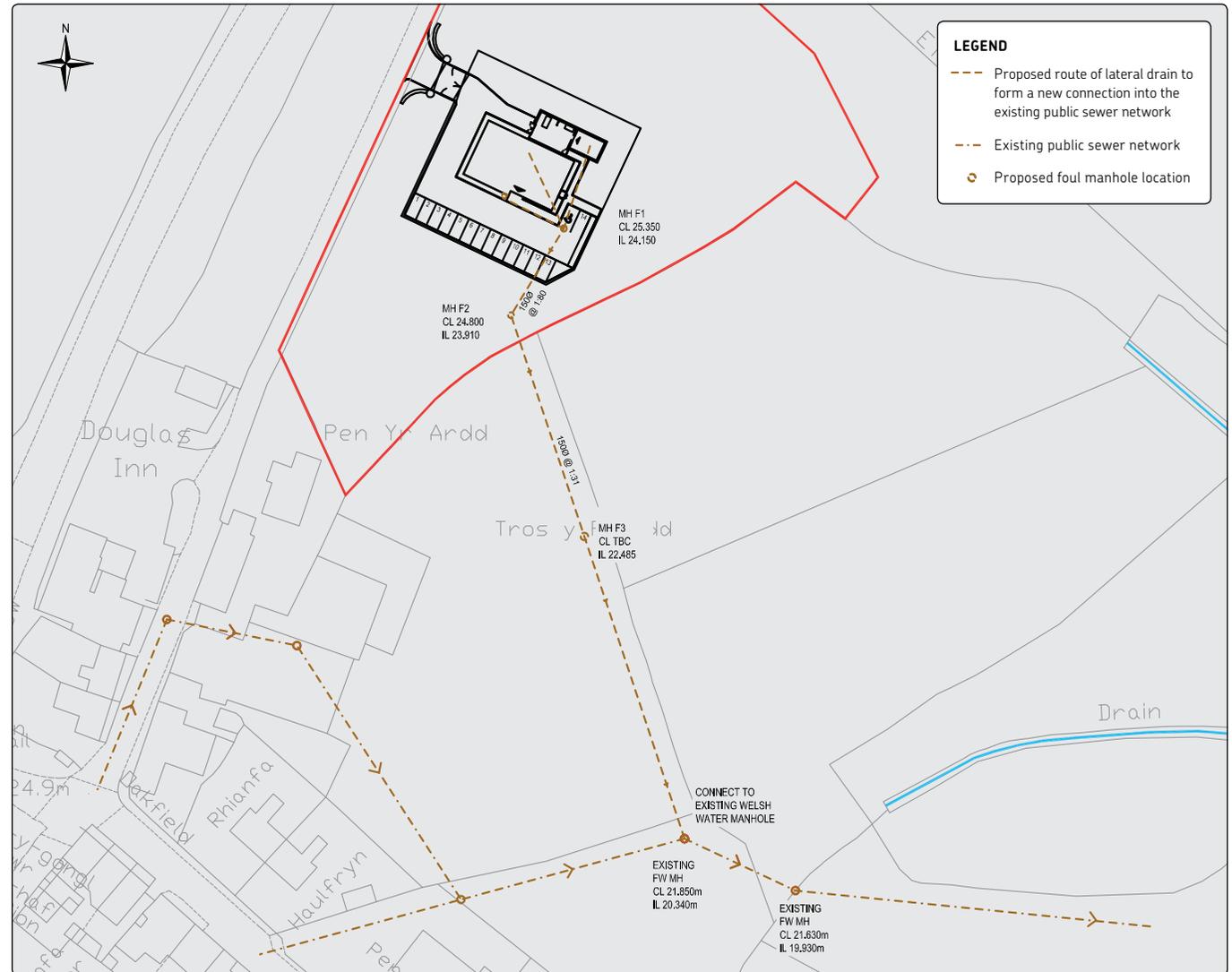


Figure 5: Proposed foul drainage connection

## APPLICATION SUPPORTING DOCUMENTS

The documents listed below support the planning application and are provided to demonstrate the proposals. These documents also provide an assessment of suitability with regard to planning policy compliance and environmental impact and have been discussed and agreed with IACC in advance of submission:

- Planning Application Form, including Certificates;
- Design, Access and Planning Statement;
- Environmental Report;
- Site Location Plan;
- Site Plan;
- External Works General Arrangement;
- Floor and Roof Plan;
- Building Elevations;
- Earthworks Cut and Fill Balance;
- External Works Elevations (x2);
- Landscape and Ecological Enhancement Plan;
- External Lighting Plan;
- Fencing Details;
- Highways Works Plan;
- Planting Plan.

## ENVIRONMENTAL REPORT

Horizon has considered the requirements of the Town and Country Planning (Environmental Impact Assessment) (Wales) Regulations 2016. Given the nature and scale of the development it is not considered to represent Environmental Impact Assessment (EIA) Development when considered against these regulations. A request for a Screening Opinion was submitted to IACC to determine the authority's consideration on this matter and a response confirming that an Environmental Statement was not required was received on the 24th March 2016.

While an Environmental Statement is not required, it is recognised that an assessment of environmental impacts is required to demonstrate the effects of the development. These assessments have been collated in an Environmental Report which addresses the following topics, having regard to both the construction and operational phases:

- Socio-economics;
- Traffic and Transport;
- Noise and Vibration;
- Air Quality;
- Flooding and Drainage;
- Ecology;
- Landscape and Visual;
- Archaeology and Cultural Heritage;
- Cumulative Effects;
- Welsh Language;
- Health & Wellbeing.

While formal assessments of Welsh Language and Health & Wellbeing are not required in determining the application due to the nature of the proposals, the Environmental Report also addresses these material considerations.

Although the extent of the AECC and DSL development is below the threshold for minor applications and therefore does not trigger the need for a Language Statement or Language Impact Assessment, Horizon has considered the potential effect of the AECC and DSL development on the Welsh language through a screening exercise. This included considering the relevant legislative and policy context together with the results of the socio-economic assessment of the proposed development.

## 4: Pre-application Consultation

The proposed development has been subject to ongoing discussions with local stakeholders to help shape the proposals in advance of the application submission. Discussions have taken place with local community stakeholders and Isle of Anglesey County Council, as the Local Planning Authority (LPA).

### COMMUNITY CONSULTATION

Horizon has undertaken consultation on the Wylfa Newydd Project as a whole at both the formal Pre-Application Consultation 1 (PAC1) and through a Project Update of January 2016.

At PAC1, the AECC and DSL facilities were included along with a number of other facilities within the NPS site on the eastern side of the A5025 termed the 'the Wylfa Gateway Complex'. Responses to consultation on this area did not directly relate to the AECC and DSL facilities, but comments generally referenced the potential impact of the amount of development proposed in this area on Tregel and also to support potential on-going use of these buildings for use by the local community. Subsequent to PAC1, Horizon has amended the current proposals to omit development in this area other than the replacement Magnox AECC and DSL.

The Project Update of January 2016 was supplemented by information events which took place during January and February at various locations on Anglesey and the mainland. The proposed location of the AECC and DSL facilities at the Application Site was identified in this update, but detailed information on the proposals was not provided. No responses to the consultation have directly referenced these facilities.

In order to undertake effective engagement with local stakeholders on the proposals forming this planning application, targeted consultation relating specifically to the proposed replacement AECC and DSL facility has been undertaken<sup>3</sup>.

<sup>3</sup> Non-statutory pre-application consultation under the Town and Country Planning (Development Management Procedure) (Wales) Order 2012

This consultation involved the following key stages:

- Briefings of local stakeholders, including direct discussions either face-to-face or via telephone with occupiers of nearest residential properties to explain proposals;
- A letter to all residents living within 1km of the site to update on progress of the project and invite them to attend the February Open Surgery at Cemaes Village Hall;
- A project-specific Open Surgery at Cemaes Village Hall, allowing local residents to view plans and ask questions.

The letter to residents was sent on 3rd February 2016 to approximately 250 residential addresses. This letter is provided at Appendix 2. The subsequent project-specific Open Surgery took place on 15th February 2016 between 1pm and 7pm at Cemaes Village Hall.

The Open Surgery was attended by 19 local residents, six of whom had a specific interest in, or questions regarding, the replacement AECC and DSL project. No substantive objections were raised against the scheme during this event. There were, however, a number of questions and comments regarding construction impacts relating to traffic and noise. These comments have assisted in Horizon's determination of necessary mitigation measures to be implemented during the construction phase. Comments were also received regarding the use of the building beyond its requirement by the NDA as an AECC and DSL.



### PRE-APPLICATION DISCUSSIONS WITH LPA AND STATUTORY CONSULTEES

Three project-specific pre-application meetings with IACC, as Local Planning Authority for the development, were held in October 2015, December 2015 and February 2016 at which planning and other specialist officers provided feedback and advice on the proposals through their development. In addition to this, the proposals were presented to the Design Commission for Wales in November 2015 and advice was given by the Commission specifically with reference to design.

Horizon has considered advice provided by specialists at these meetings and has incorporated this advice where appropriate and practicable to improve the scheme and limit potential impacts of the development. This consultation feedback has added value to the process of developing the proposals and has resulted in the development forming this planning application, which Horizon is satisfied meets the requirements of the relevant regulators.



## 5: Justification for Site Selection

### APPLICATION SITE LOCATION

Horizon considers the Application Site is the preferable location for the AECC and DSL facilities when considering the parameters for siting to ensure regulatory compliance and, within that context, environmental and heritage constraints and planning policy requirements. The site selection process is outlined below.

### AECC LOCATIONAL CONSTRAINTS

The Technical Specification for the AECC building provided by Magnox Limited has been developed to ensure nuclear regulatory compliance in both the positioning and design of the premises. Key locational requirements agreed with the NDA are for the facility to be:

- At or above 24m Above Ordnance Datum (AOD);
- Located more than 400 metres away from the existing on-site ECC, but less than two kilometres away from the Site entrance;
- To have an access from the public highway which is independent of the power station entrance;
- Located on a different compass heading relative to the Reactor R1 from the ECC;
- Accessible to emergency vehicles;
- Capable of having access to the Magnox emergency communications systems.

Figure 6 shows the extent of possible locations for the new facilities based on the above criteria. Note that the requirement for the site to be easily accessible to vehicles and accessed from a different public highway to the ECC further constrains the suitability of sites within the extent of the area of possible siting shown at Figure 6.

Figure 6 also shows the Wylfa Newydd Development Area (WNDA). All land to the north and west of the A5025 within this area was omitted from consideration as, at the time of site selection, there was potential for the AECC and DSL facilities to prejudice the New Power Station development.

The Application Site meets all of the above criteria and is therefore able to provide the replacement facilities in accordance with regulatory requirements.

### ENVIRONMENTAL CONSTRAINTS

In addition to locational requirements for the Application Site there are a range of environmental constraints which have been considered to identify suitable sites within the defined area. Horizon seeks to avoid development in designated areas wherever possible to avoid unacceptable impacts on such areas and conflict with relevant planning policy requirements. On this basis, the Tre'r Gof and Cae Gwyn – Site of Special Scientific Interest (SSSI), Cemlyn Bay – Special Area of Conservation (SAC) and Special Protection Area (SPA), Cestyll Gardens Registered Historic Landscape and the Anglesey – Area of Outstanding Natural Beauty (AONB) have been avoided as there is land, including the Application Site, within the search area at which this facility could be provided which are not subject to these designations.

Provisional agricultural land classification mapping<sup>4</sup> demonstrates the area shown at Figure 6 is broadly equivalent in terms of agricultural land quality. Horizon has no evidence to suggest a variation of agricultural land quality on land outside of the WNDA within this area. As such, agricultural land quality was not a differentiating factor in site selection.

Note that, while the selection of the site is justified in broad terms by avoidance of designations, the Environmental Report includes a full assessment of potential impact.

### PLANNING POLICY

The proposed location of the facility adjacent to Treglele, draws support from planning policy. The planning policy framework sets out the requirements for the location of development in order to achieve a sustainable pattern of development.

The New Nuclear Build at Wylfa: Supplementary planning Guidance (Wylfa Newydd SPG) supports the provision of employment uses in support of the Wylfa Project, providing the development accords with national planning policy and the spatial strategy of local planning policy.

Planning Policy Wales (PPW) requires development to be located consistent with the requirement to minimise the need to travel and increasing accessibility by modes other than private car, with development in the countryside located within or adjacent to settlements where this can be best accommodated.

The site is accessible from Treglele, which is served by public transport, in the form of a bus service. The proposal is therefore broadly consistent with national policy requirements.

Ynys Môn Local Plan Policy 2 supports employment creating development on sites within or on the edge of existing recognised settlements, where they are of a scale and type compatible with the surrounding area and accord with other policies in the plan. This proposal would not create jobs as the facility currently exists, but the proposal would safeguard local jobs so is considered to be relevant here. The site is located immediately adjacent to Treglele and is of a single storey, which is compatible with existing development comprising predominantly single and two storey buildings. In addition, Policy B7 of the Gwynedd Structure Plan recognises that specific locational requirements of employment development can justify development located away from allocated land.

### CONCLUSION

The above considerations demonstrate that, when considering together the locational restrictions placed upon this operational building to ensure regulatory compliance, the desire to avoid sites subject to protection for their environmental or historic value and locational planning policy and guidance, the siting of the AECC and DSL facility at the Application Site is fully justified.

This location accords with planning policy requirements to locate employment development within or adjacent to recognised settlements and the site is not subject to restrictive designation.

Detailed assessment of impacts associated with the development proposals are included in the accompanying Environmental Report. An assessment of compliance with wider planning policy requirements to establish whether the proposals would be, on balance, acceptable and whether planning permission should be granted is provided at Section 8 of this Report.

<sup>4</sup> Agricultural Land Classification of England and Wales 1985 (Natural England)

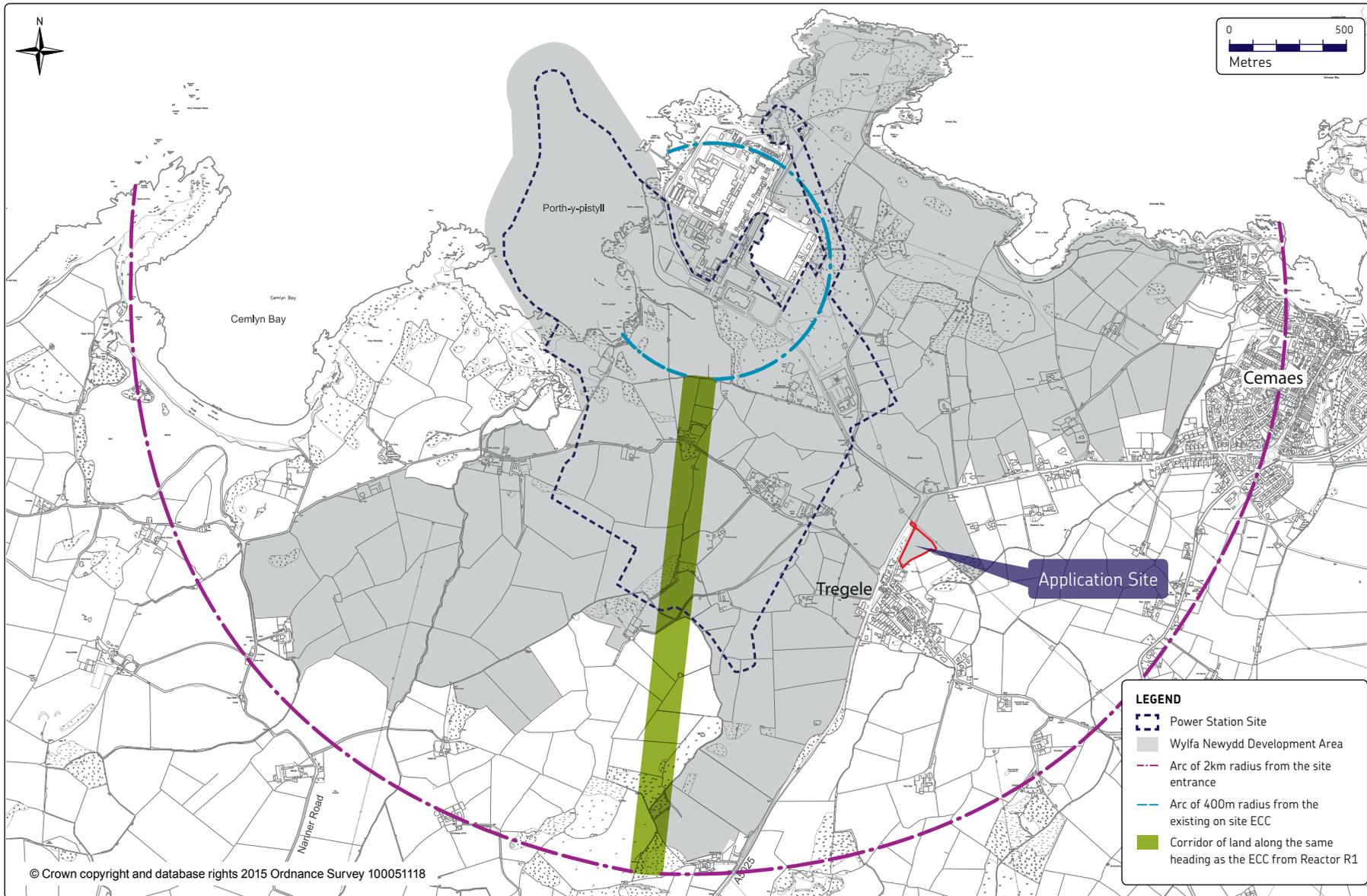


Figure 6: AECC locational constraints

## 6: Design Approach

In developing the proposals, Horizon has had regard to planning policy and guidance in relation to design. At national level, PPW confirms that good design is central to achieving sustainable development. In order to understand local context, particular regard has been given to both Technical Advice Note 12: Design and the Urban and Rural Built Environment Supplementary Planning Guidance (Design SPG) published by IACC in 2008.

### DESIGN CONCEPT

Horizon's design concept is to create new premises with secure and functional buildings which are conventional in form and honest in appearance. This concept has been derived through consideration of the need to provide the NDA with secure premises which are within confirmed location parameters to meet regulatory requirements and replicate the functionality of the existing facility on a 'like for like' basis.

These requirements, together with the design guidance, have been used by Horizon to establish the basis for the design concept and to guide Horizon's subsequent development of the form and layout of the new premises and its integration into the surrounding landscape.

Horizon also believes that the buildings should be an 'honest' reflection of their purpose and not try to hide their identity. However being honest does not prevent the buildings from being discreet. Horizon's design concept recognises this by adopting a compact building form with a low roof line and placing it within the landform in a way which minimises its visual impact on both neighbouring properties and the wider environment.

### INTEGRATION WITH THE SURROUNDING LANDSCAPE

The Application Site is located within the Isle of Anglesey Landscape Character Area defined as the Area 4: North West Coast, with characteristic features of a coastal landscape of cliffs, coves and pastoral farmland within the hinterland. The topography is gently undulating, mainly farmland pasture, with moorland and exposed rock on elevated positions being a local feature. The existing power station is the dominant landmark to the north, with the 400kV transmission lines traversing the countryside. The field pattern is small to medium scale pasture with field boundaries comprising of a mixture of earth banks, hedgerow and stone walls. Rocky outcrops are also present as a local feature.

Settlement is scattered, with the hamlet of Treglele to the south of the site and the fishing village of Cemaes to the north. There are also isolated properties and scattered farmsteads between the two settlements. Field boundaries consist of free standing stone walls, earth banks, cloddiau with hedgerows, fences and occasional woodland copse and groups of trees. Extensive use of local granite and limestone is evident in the earth banks and walling.

Horizon has developed the design of the new premises having regard to the context of this local landscape, in the following manner.



View of Application Site looking south towards Treglele

## SITE LAYOUT

The new premises will be located in a secure compound occupying an area of approximately 1300m<sup>2</sup> (0.13 hectares)

This compound will be located in the centre of the Application Site at an approximate elevation of 25.5m AOD. To improve the access for vehicles travelling to and from the new premises, localised widening of the carriageway adjacent to the junction with the A5025 is also proposed. This will create a passing place for vehicles approaching the entrance to the new premises from the north. The site layout for the new premises is shown at Figure 7.

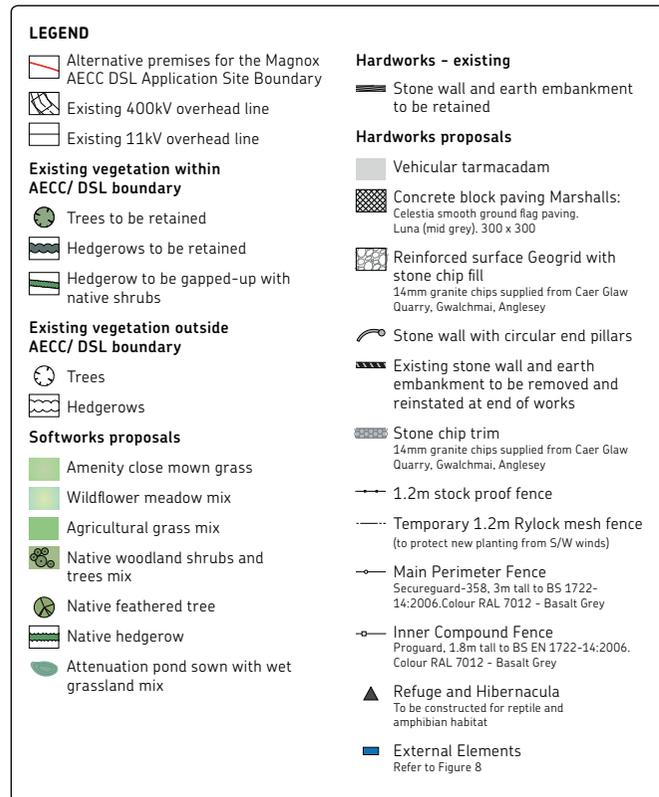


Figure 7: Application Site – general layout

Access into the compound will be through a new field entrance located approximately 60m south of the junction of the original and current A5025 roads. The field entrance will replicate the local stone boundary walls with stone pillars acknowledging the site access. A double leaf, five bar, timber field gate in front of the main compound gates will secure the grazing land surrounding the compound.

The perimeter of the compound will be secured with a 3m high open mesh steel panel fence which will be finished in basalt (RAL 7012). This fence will have a double leaf swing gate. The inner compound to the rear of the Main Building will be demarcated with a 1.8m high open mesh steel panel fence which will also be finished in basalt (RAL 7012); refuse collection bins will be secured and screened by this inner fence whilst facilities for the segregation of waste will be provided within the Main Building.

A key feature of the development is this perimeter fence. It is a regulatory requirement for the fence to be 3m high, straight in alignment and have a 5m security stand-off zone on either side. This is to ensure that the new premises remain secure at all times. Horizon has sought to limit the impact of the fence on the landscape by minimising the size of the area which it encloses; the resulting site layout is considered to be an efficient use of space which has the further benefit of reducing the quantities of hard landscaping materials and the area of soft landscaping requiring regular maintenance.



3m High Main Perimeter Fence

Located within this secure compound will be the Main Building which accommodates the AECC and DSL and a separate, smaller building, called the Sample Preparation Room; this room provides a facility for the preparation of samples analysed in the DSL. The Sample Preparation Room has been positioned at the rear of the Main Building, with its east elevation set in front of the east elevation of the Main Building. This has the effect of breaking up the total mass of the development and adding interest to the appearance of the new premises when viewed from the south east.

The Main Building will have an overall length, in the east west direction, of 18.5m and an overall width, in the north south direction, of 11.5m. The overall height of this building will be 3.8m and the level of the highest part of the roof will be 29.5m AOD. The internal finished floor level within the Main Building will be 25.7m AOD. The overall size and layout of the Main Building has been designed such that it replicates the size of the rooms, within the existing facility, in a compact building form. This has ensured that the overall size of the development has been kept to a minimum. The floor plan for the new premises is shown at Figure 8.

The Sample Preparation Room will have an overall (external) length, in the east west direction, of 5.7m and an overall (external) width, in the north south direction, of 3.7m. The overall height of this building will be similar to that of the Main Building to achieve continuity of the roof line between the two structures. The internal finished floor level within the Sample Preparation Room will be 25.5m AOD. Pedestrian access from the Sample Preparation Room to the Main Building entrance will be along a paved walkway on the east side of the Main Building.

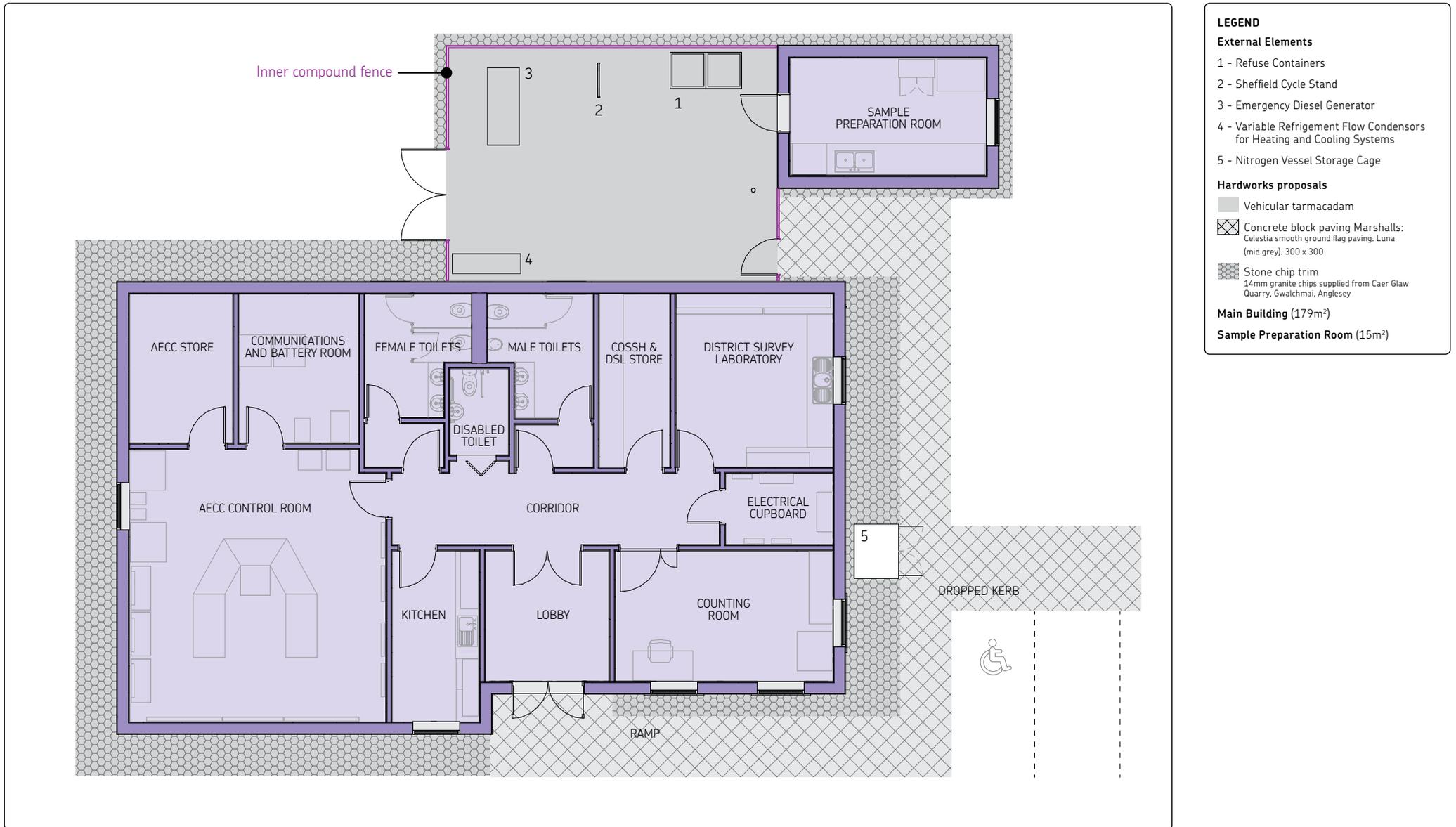


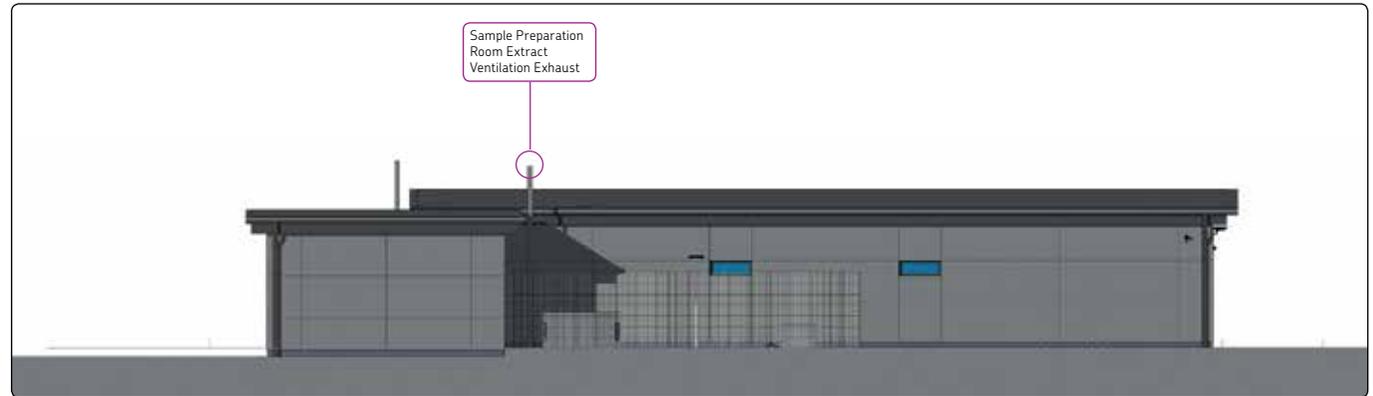
Figure 8: Floor plan

## BUILDING APPEARANCE

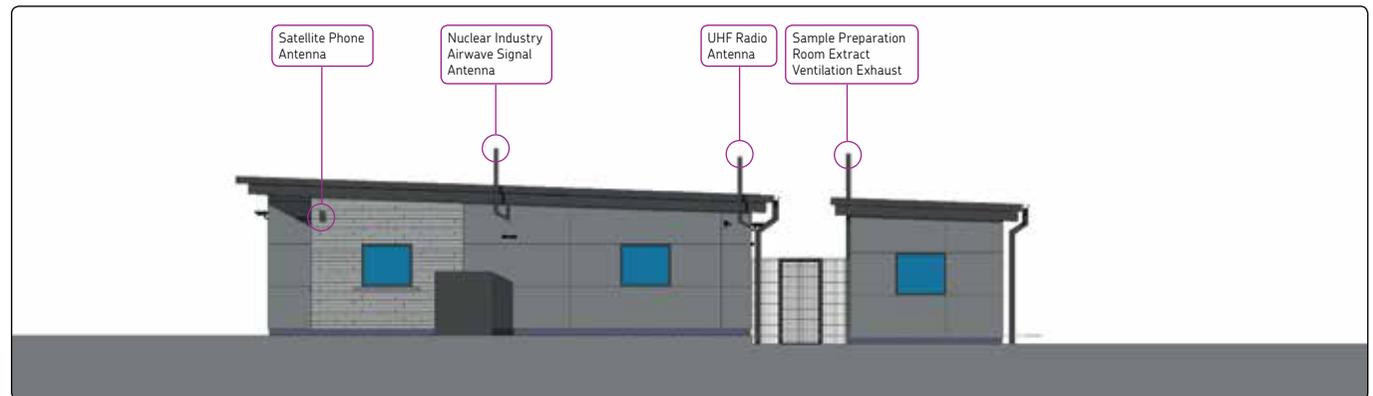
The construction for both the Main Building and Sample Preparation Room will be either loadbearing blockwork or a proprietary steel framing system, predominantly clad with insulated wall panels arranged horizontally. The proposed cladding panel is an insulated, flat, wall panel finished in basalt (RAL 7012). Around the Main Building entrance the wall cladding will be a dressed natural stone laid in regular, narrow courses, using bricks cut to random lengths; the proposed stone is a locally sourced Penmon limestone. Horizon considers this approach to be an appropriate response to the site's context.

Whilst the Design SPG<sup>5</sup> notes a preference for uncoursed random stonework, Horizon believes that the discipline of regular courses better reflects the engineered nature of the development, whilst the random lengths of individual bricks creates interest. The external elevations for the new premises are shown at Figure 9.

Figure 9: Elevations



North elevation



East elevation

<sup>5</sup> Design Note 20 Wall Design

Both buildings will be constructed with a mono-pitch flat roof; the roof line on the Sample Preparation Room has been arranged so that it follows the roof line on the Main Building. This approach has reduced the prominence of the buildings, in the context of the local landscape, setting them below the roofline of adjacent properties such as the Douglas Inn.

The roof on both the Main Building and Sample Preparation Room will have an external aluminium box gutter along the entire length of the north fascia. Rain water collected by these gutters will drain to square aluminium rainwater down pipes located at either end of the gutter on the Main Building and at the east end of the gutter on the Sample Preparation Room. The gutter and down pipes will have a RAL 7016 dark grey polyester powder coated matt finish to match the buildings doors and windows.

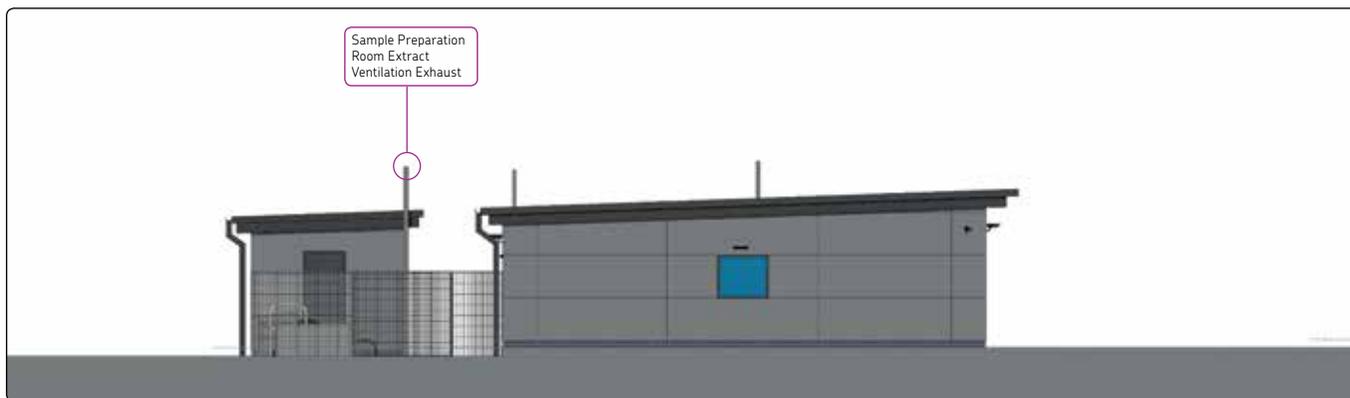
The eaves on both the Main Building and Sample Preparation Room will be formed using a pressed aluminium flashing. These flashings will be stepped in order to break up the visual depth of the roof construction and provide further interest to the building elevations. Both the fascia and the soffit boards will have a RAL 7016 dark grey polyester powder coated matt finish to match the buildings doors and windows.

The windows for both the Main Building and Sample Preparation Room will be top hung, aluminium casement windows with internally mounted glazing and set back within the wall construction to give weather protection and relief to the buildings; this is in accordance with the suggested suitable window styles contained in the Design SPG<sup>6</sup>. The windows will have a RAL 7016 dark grey polyester powder coated matt finish to match the doors to both buildings. Where the windows are located within the natural stone cladding, the window sill will be in a matching natural stone.

Figure 9: Elevations



South elevation



West elevation

<sup>6</sup> Design Note 22 Window Design

The glazed doorset to the Main Building will have a double leaf and a RAL 7016 dark grey polyester powder coated matt finish to match the building's windows. The doorset will be of aluminium construction with glazed vision panels. The single leaf doorset for the Sample Preparation Room will be finished in a RAL 7016 dark grey polyester powder coated matt finish, to match the window. The doorset will be of aluminium construction with insulated infill panels.

The Main Building will also have a CCTV installation which will comprise of five building mounted CCTV cameras. The number of cameras has been limited to the minimum required to provide adequate site coverage whilst ensuring that the cameras are positioned to satisfy the particular security requirements of the new premises and that camera views are not obstructed by any landscaping.

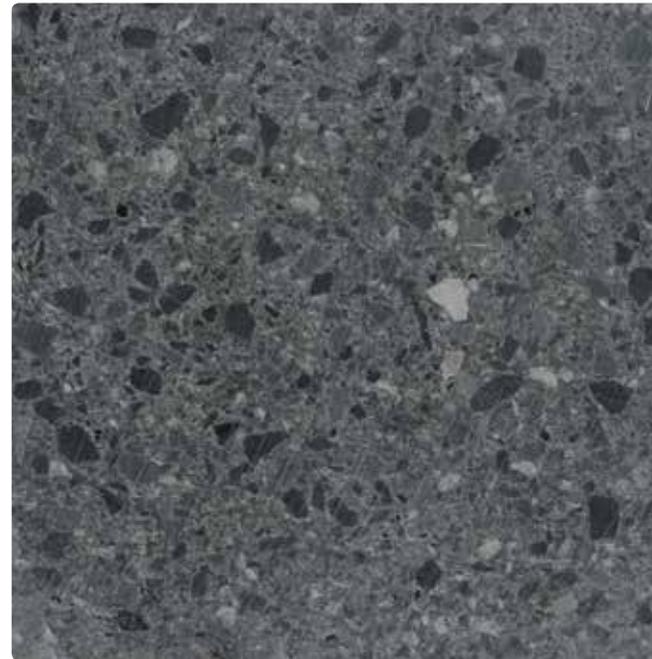
## LANDSCAPING

The new access road and internal circulation road will have a macadam finish. The car parking area to the south of the access road will be constructed using a geo-grid filled with locally sourced 14mm granite chips supplied by the Caer Glan Quarry, Gwalchmai, Anglesey. This aggregate will also be used to create a low maintenance, 450mm wide gravel strip beneath the perimeter fence.

The proposals for the soft landscape reflects the surrounding landscape character, the local vegetation pattern of pastureland, hedgerow and occasional hedgerow trees and woodland copse. Consideration has also been given to potential screening opportunities from nearby residential properties and public rights of way and highway users; wherever possible, natural features have been retained and enhanced to create a habitat which increases local biodiversity.



Granite Chippings



Luna Paving



Penmon Limestone



Dark Grey  
RAL 7016



Basalt  
RAL 7012

The ground level around the perimeter of the compound varies between 25.7m AOD and 25.1m AOD; the latter being the level of the existing ground at the south east corner of the fence line, where there is the least scope for re-grading. Beyond the fence, the landform has been altered to accommodate the development in a way that is sympathetic with the natural contours of the surrounding land.

The existing boundary features of earth bank and hedgerow with occasional hedgerow trees have been retained as much as possible with a small section to be removed to allow site access on the western boundary.

These existing features will be protected during the construction phase and reinforced with planting to supplement the boundaries; this will provide both additional screening for near neighbours and improve the local habitat for wildlife.

The landscape has then been further enhanced through the introduction of a new field boundary to the north of the site, creation of wooded copse comprising native trees and shrubs and a surface water runoff attenuation pond of wet grassland. It should be noted that the siting of trees in the southern part of the site are influenced by proximity to the low voltage overhead line to the south of the development.

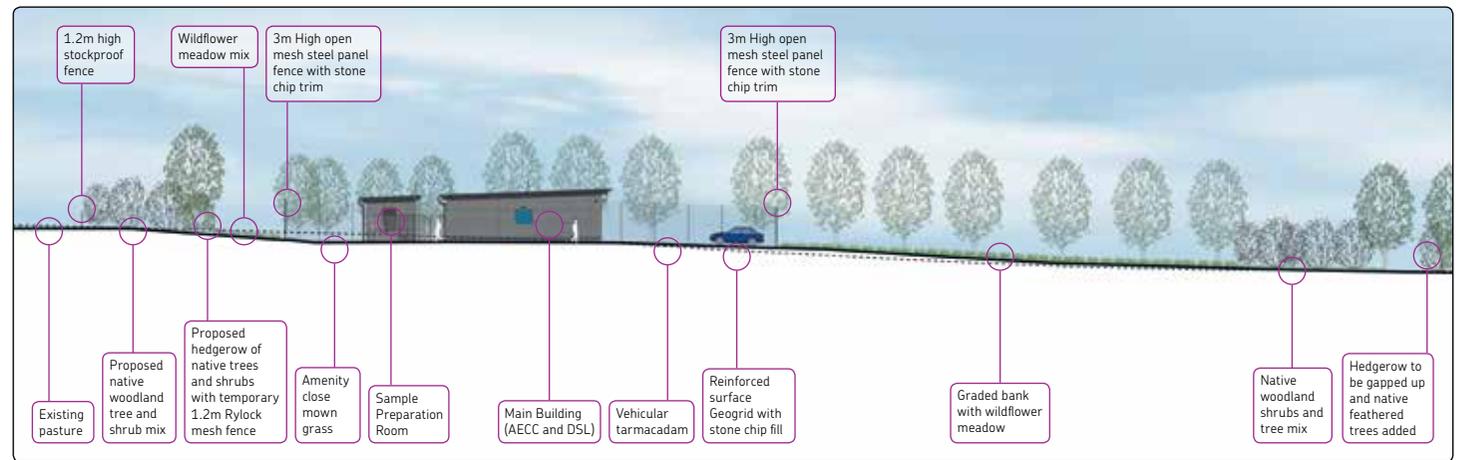
The areas of soft landscaping within the perimeter fence will be seeded with close mown amenity grass, to minimise the maintenance requirements for the grounds surrounding the premises. To assist in screening from nearby residential properties and from views to the east, a woodland copse will be established along the existing field boundary to the south of the new facility and this will be complemented with a woodland copse at either end of the new field boundary to the north of the new facility. It is anticipated that the introduction of these woodland copse will further enhance wildlife in the local area. Horizon recognises the importance of such planting being managed to ensure it achieves the level of screening required by the nearest neighbours.

The photomontage shown on Page 26 illustrates the potential view from the A5025, looking south towards Tregelwe with the proposed development in the middle distance. The photomontage illustrates the proposed builtform, retained hedgerow and proposed woodland copse and new hedgerow planting. The images illustrate the proposed plant growth after a period of 15 years demonstrating as the planting matures the proposed development becomes increasingly absorbed into the existing local landscape.

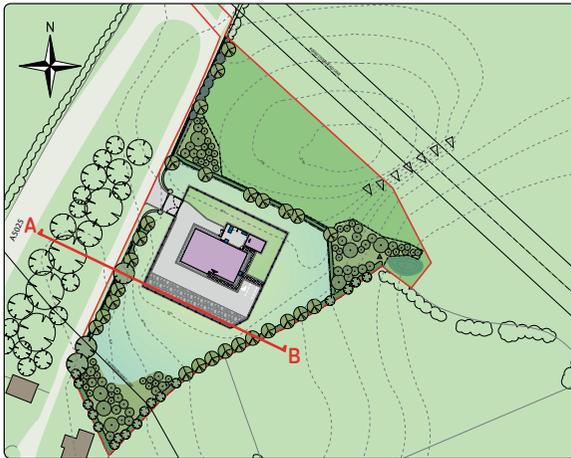
The existing semi-improved pasture will be over seeded with a wildflower meadow mix. The proposed mix is Germinal Amenity RE9 farmland mixture with additional *Succisa Pratensis* (devil's-bit scabious). For the surface water runoff attenuation pond a wet grassland mix is proposed. All plant material will be native species, using trees, shrubs and meadow mixes of UK provenance and grown in the UK. Further habitat will be created with a wetland scrape, formed by the surface water runoff attenuation pond located in the north east corner of the site. Also added is a refuge and hibernacula to assist in enhancement of this locality for wildlife.



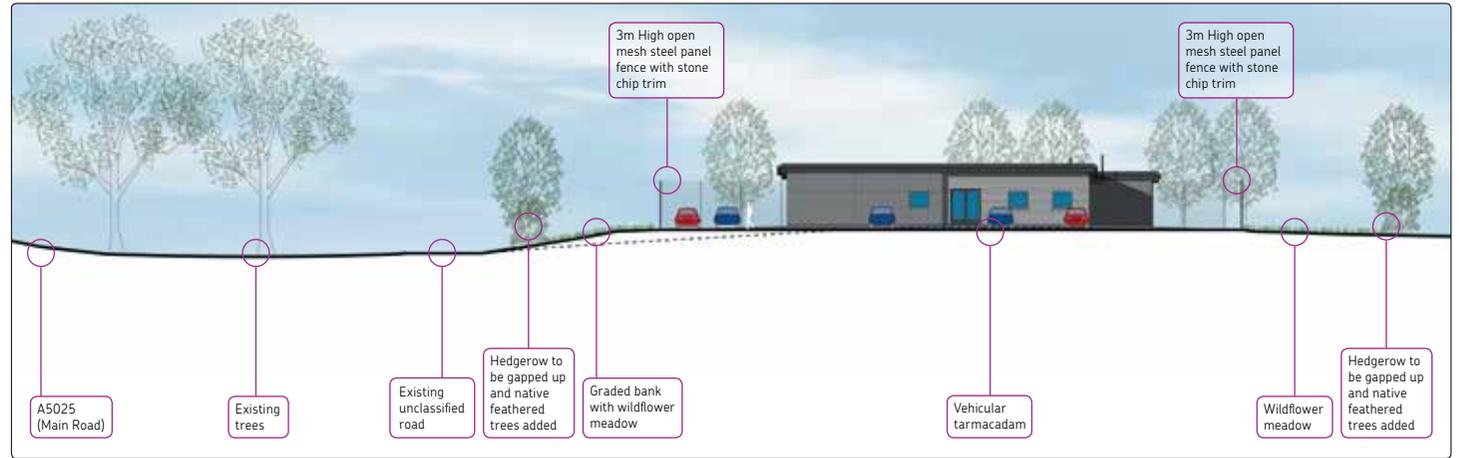
Section location



North to South section through site



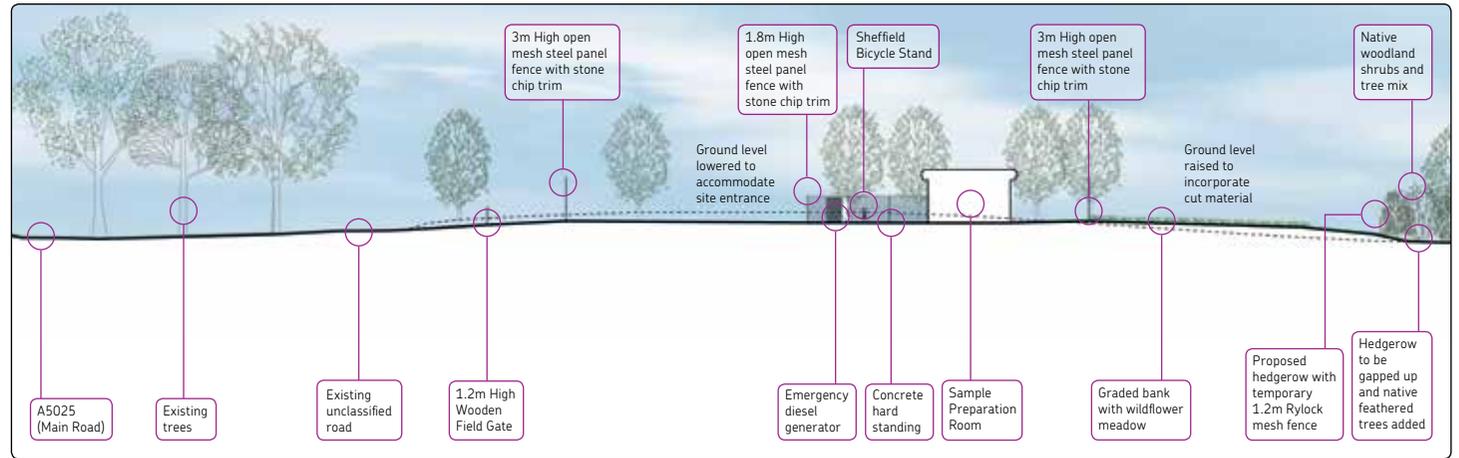
Section location



West to East section through site



Section location



West to East section through site

ILLUSTRATIVE PHOTOMONTAGE REPRESENTING THE POTENTIAL VIEW FROM THE A5025, LOOKING SOUTH TOWARDS TREGELE



The proposed hedge line and woodland copse on the northern boundaries would be protected against livestock in adjoining fields and, to assist in the establishment of the planting, by the introduction of a sympathetic stock proof fence. A mesh fence acting as a temporary windbreak will be added to protect the new planting during the early years.



## EXTERNAL LIGHTING

External lighting for the site will be provided to the following areas:

- Car Park
- Site Entrance
- Inner Compound

The external lighting proposals have been developed with the intention of minimising light pollution and preserving dark skies. This approach accords with relevant guidance within the Design SPG<sup>7</sup>.

The proposed car park lighting is low level lighting bollards, with less intense light sources to limit excess light spillage. Car park lighting illumination levels are anticipated to be less than those which would occur in an urban car park and therefore an appropriate response to the site's context.

The external lighting at the site entrance will comprise wall recessed luminaires. Luminaires will be particularly chosen to direct light downwards minimising upward light pollution whilst providing a way finder to the entrance gate.

The inner compound lighting proposals comprise of building mounted floodlights. Efforts have been made to eliminate the requirement for high level columns. Floodlights will be installed at a zero degree tilt to eliminate any unnecessary upward light pollution.

The lighting will be operated only when the facility is in use, with the exception of the entrance gate lighting which will be operated overnight.

## CONCLUSION

The design of the development has been guided by regulatory and security requirements of the facilities. However, Horizon considers that the proposals forming this application constitute a well-designed scheme which responds well to the site context and of its wider landscape setting. Where appropriate, the proposals have been guided by IACC's Design SPG. In this respect, the development meets policy requirements to provide new development of appropriate design.

<sup>7</sup> Design Note 10 Lighting

## 7: Access

Planning policy and guidance requires development to provide safe and convenient access to all potential users. Adequate access for people with disabilities is specifically required by relevant policy.

Access to the Application Site will be restricted to authorised persons only. This is due to the sensitive nature and operational purpose of the development. Access to the site compound for authorised personnel will be via the unclassified road to the west of the site. It is anticipated that use of the DSL will be primarily through car and specialist vehicles required for the use of the facility. However, cycle parking spaces will be provided for employees. Pedestrian access would be taken from the vehicle access point. Due to the nature of the AECC and the circumstances in which it would be used, it is likely that access to this facility will be made via vehicle.

LEGEND	
	Proposed K1 kerb
	Proposed K2 kerb
	Proposed E1 edging
	Proposed timber edging
	Proposed internal pavement construction (flexible)
	Proposed footway construction
	Proposed carriageway widening
	Proposed reinforced stone parking area
	Proposed gravel area
	Proposed concrete hardstanding
	Proposed grass

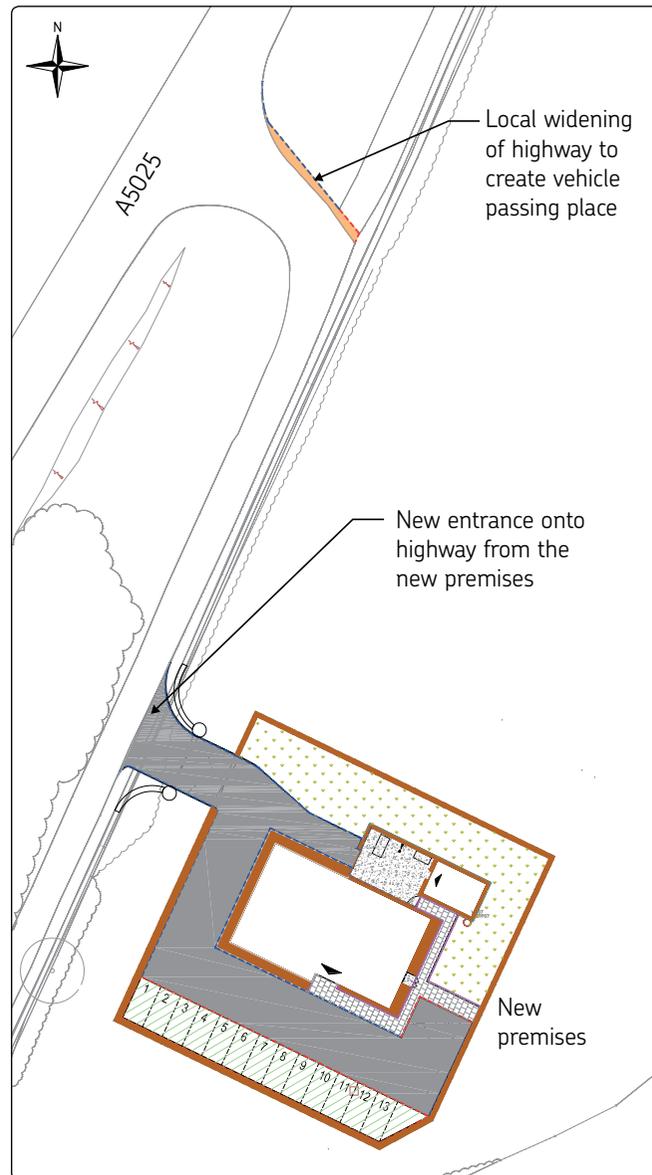


Figure 10: Proposed highway works

### VEHICLE ACCESS

The application site is accessed via an unclassified road (the previous alignment of the A5025). This road links to the existing A5025 to the north and Tregelle to the south. A section of field boundary will be removed to allow for this access to be taken.

During construction, the Application Site will be accessed solely from the A5025 by approaching from the north, avoiding the requirement for vehicles to travel through Tregelle. An additional section of field boundary adjacent to the road will be temporarily removed to allow construction vehicles to gain access to the construction compound. This additional section will be re-planted following completion of the construction phase. An appropriate scheme for the management of construction traffic will be prepared in advance of works commencing, the requirement for which can be secured by a condition attached to the planning permission for this development.

Once operational, the number of vehicle movements generated by the proposal will be limited. However, in order to ensure the site can be safely accessed, a short section of road widening is proposed at the junction of the unclassified road and A5025. This would allow refuge for vehicles entering the unclassified road from the A5025 in the event another vehicle was travelling north along this highway. This would avoid the requirement for vehicles to wait on the A5025, generating potential highways safety implications. Access to the site would be achieved from the newly created opening on the Application Site's western elevation. This access would provide suitable visibility and has been sympathetically designed through the inclusion of a boundary wall and recessed five bar gate. The location of the proposed highways works is shown at Figure 10.

Inside the site compound, there is sufficient space for vehicles to manoeuvre safely with adequate space to turn vehicles to ensure they can exit the site in forward gear.

The arrangement for cars is that of a 'standard' car park, with 2400mm x 4800 bays and 6000mm wide aisle which enables cars to turn round inside the site. Larger vehicles will need to use some of the parking spaces to turn to exit the site in forward gear. As the spaces should only be fully occupied in the event of an emergency the space will be available in general use for larger vehicles to perform this manoeuvre.

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### CYCLE ACCESS

The access route for cyclists will be the same as for vehicles. The proposals include a cycle stand to encourage the use of sustainable transport options, allowing employees to access the site from their place of residence and move between the site and power station.

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### PEDESTRIAN ACCESS

There is a roadside footway from Cemaes to the junction of the A5025 to the north of the application site. It is considered appropriate for pedestrians to access the site from the unclassified road from either Tregle to the south or from the Cemaes direction to the north (including to the Magnox Power Station). Pedestrian access will be taken from the main access point to the site.

Clear walking routes are provided within the site to allow safe movement of pedestrians inside the site compound and avoid conflict with vehicles accessing these areas.

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### VEHICLE PARKING

The proposal includes a total of 15 car parking spaces. Two of these spaces will be associated with the DSL facility and used on a daily basis. This includes a car parking space suitable for use by a person with disabilities. This space is located adjacent to the entrance to the Main Building. A further 13 spaces are required to be provided in the event that the AECC requires use and these are to the front of the Main Building, within the secure compound. All spaces are designed to meet required size and operational requirements, outlined in IACC's parking SPG.

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### DISABLED ACCESS

In addition to the provision of disabled parking, the entrance to the Main Building and some internal areas will be accessible for wheelchair users and compliant with the Disability Discrimination Act (DDA).

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### CONCLUSION

The proposals would provide appropriate access for private vehicles, bicycles and pedestrians and allow safe movement within the site compound. Disabled persons would also be able to both park at the site and have access to the Main Building. The proposal therefore complies with planning policy requirements with respect to access.

## 8: Planning Statement

### INTRODUCTION

The proposals have been developed having regard to planning policy and guidance requirements. An appraisal of the finalised proposals forming this application has been undertaken to assess compliance against the relevant planning policy framework to understand whether, on balance, planning permission should be granted.

Section 38(6) of the Planning and Compulsory Purchase Act 2004 states that planning applications must be determined in accordance with the Development Plan unless material considerations indicate otherwise. The extant Development Plan for Anglesey comprises the following documents:

- Ynys Môn Local Plan (1996)
- Gwynedd Structure Plan (1993)

These documents must however be considered in the context of Section 2.7 of Planning Policy Wales (PPW), which directs that, where existing development plan policies are outdated, they should be given decreasing weight in favour of other material considerations, such as national planning policy.

A number of other planning policy and guidance documents are also material considerations in the evaluation of this application. The documents listed below have been considered in undertaking the assessment of the application proposals.

- UK Planning Policy
  - National Policy Statement EN-1
  - National Policy Statement EN-6
- Wales Planning Policy and Guidance (Wales)
  - Planning Policy Wales (Edition 8, January 2016)
  - Technical Advice Notes (various)
- Anglesey Planning Policy and Guidance
  - Stopped Isle of Anglesey Unitary Development Plan (2005)
  - Anglesey and Gwynedd Joint Local Development Plan (JLDP) – Deposit Draft (2015)

- New Nuclear Build at Wylfa Supplementary Planning Guidance (2014)
- Parking Standards Supplementary Planning Guidance (2008)
- Planning and the Welsh Language Supplementary Planning Guidance (2007)
- Design in the Urban and Rural Built Environment Supplementary Planning Guidance (2008)

### PRINCIPLE OF DEVELOPMENT

The process of site selection is detailed at Section 5 of this report. This demonstrates that this site is, in principle, suitable to accommodate the proposed development and a future appropriate use of the facility, to be secured via a future planning application. It takes into consideration the locational requirements of the facility to meet regulatory requirements, and planning policy regarding the location of development.

With regard to planning policy, the location of the site abutting the recognised settlement of Tregle draws support from Policy 2 of the Ynys Môn Local Plan indicating this is a sustainable location for employment development. Furthermore, the particular operational requirements of the facility to meet regulatory requirements are a material consideration in site selection. Such circumstances are recognised by Policy B7 of the Gwynedd Structure Plan to justify siting of development. Compliance with the spatial strategy of local planning policy is confirmed in the Wylfa Newydd SPG as a requirement for employment development.

The principle of locating this necessary facility for the Magnox Power Station at the Application Site, which safeguards local employment, is therefore established. This in principle support for this development weighs in favour of planning permission being granted, but this must be balanced against any impacts arising from the development to determine whether the development is acceptable when considering all material matters. The assessment of impacts and compliance with relevant planning policies is provided below.

### ASSESSMENT OF IMPACTS

The Environmental Report submitted to accompany this report provides an assessment of the proposals against various topic areas to consider impacts and, where such impacts are recognised, to determine whether mitigation would be possible to ensure impacts are limited. The assessments included in these documents are used to assess compliance with planning policy in these regards.

### ECOLOGY AND BIODIVERSITY

National planning policy relating to ecology and biodiversity is contained in Chapter 5 of PPW (Chapter 5 Conserving and Improving Natural Heritage and the Coast) and Technical Advice Note 5 – Nature Conservation and Planning (2009). The overarching policy driver is to minimise the impact of development on the natural environment and ensure that areas of high value in ecological terms are protected.

Policy 35 of the Ynys Môn Local Plan confirms that development will be permitted away from sites recognised as being important for nature conservation, provided that it does not have an adverse impact on a species with statutory protection. The Stopped UDP at Policy EN4 states that development must be designed to maintain and where appropriate enhance the biodiversity of the natural environment. Similar provisions are contained within emerging JLDP Policy AMG4.

GP20 of the Wylfa Newydd SPG requires the conservation of the island's natural environment, including the for development to not have significant adverse impacts on statutorily protected sites and species, other key habitats and species and the ecological function of nature conservation sites. It is stated that where adverse impacts cannot be avoided, the County Council expects appropriate mitigation and/or compensation measures to be implemented.

The Application Site is not subject to designation relating to its ecological value and the Environmental Report demonstrates that potential effects on notable and protected species is minimal. Some potential impacts are identified during the construction phase, however these can be appropriately mitigated through incorporating methods which ensure the works are undertaken in a sympathetic manner. Further to this, the proposal also includes a number of measures which will actively enhance biodiversity on the site. These measures include the additional boundary planting, providing a species rich meadow grassland outside the site compound and installing a reptile hibernacula on site. The proposed attenuation pond will also provide a potentially suitable habitat for amphibians.

Given the above considerations, the proposals would, subject to mitigation measures being incorporated during construction, not give rise to harm to protected species with a net gain in biodiversity being experienced following the completion of works. As such, the proposal complies with policy requirements relating to ecology and biodiversity. The benefit resulting from the development in this regard gives further weight in favour of granting planning permission.

## LANDSCAPE AND VISUAL IMPACT

National Planning Policy in respect of landscape is included in Chapter 5 (Conserving and Improving Natural Heritage and the Coast) of PPW and Technical Advice Note 12: Design (2014) and is concerned with protecting landscapes in accordance with their value.

Policy 31 of the Ynys Môn Local Plan and Policy AMG1 of the JLDP require proposals in Special Landscape Areas (SLA) to have particular regard to the special character of their surroundings, with a requirement for development to fit into its surroundings without unacceptable harm to the general landscape character. Policy D3 of the Gwynedd Structure Plan confirms development will only be permitted if it is capable of being satisfactorily integrated into the landscape. This provision is repeated at JLDP Policy AMG2, which requires protection of local landscape character.

GP20 of the Wylfa Neywdd SPG requires the conservation of the island's natural environment, including for development to avoid significant adverse impacts on important landscapes, local landscape character and the seascape. It is stated that where adverse impacts cannot be avoided, the County Council expects appropriate mitigation and/or compensation measures to be implemented.

The landscape and visual impacts of the development are considered in the Environmental Report. This assessment concludes that the proposal is relatively well contained by the existing landscape pattern meaning that landscape impacts would be very localised, with only low and localised impacts on the Strategic Landscape Area. The assessment identifies the requirement for mitigation planting which will further reduce landscape effects. Similarly, with regard to visual effects, the assessment finds the proposal to be integrated into the surrounding landscape due to its design and proposed mitigation planting. The design rationale for the proposal is provided at Section 6 of this report. As outlined, the proposals are considered to represent a high-quality design which responds well to the context of the site and wider setting while providing facilities to meet regulatory requirements. In this respect, the proposal therefore complies with planning policy requirements at national and local level which require good design in new development.

It can therefore be concluded that the proposal would integrate into the landscape and its surroundings and would not cause unacceptable harm to the special character of the SLA, with only minor effects identified. The proposal therefore complies with planning policy requirements with regard to landscape and visual impact.

## HISTORIC ENVIRONMENT

It has been identified in the Environmental Report that the proposal would not have a material effect on any Listed Building, conservation area or Scheduled Monument. Detailed consideration of impacts on cultural heritage is therefore confined to potential archaeological effects.

National planning policy in respect of cultural heritage is contained in Chapter 6 of PPW (Conserving the Historic Environment). The overall policy driver is for development to minimise its impact on the historic environment through avoidance of the most sensitive sites, including statutory designated sites. Policy further requires development to have regard to undesignated sites and the potential for unrecorded archaeological features.

Ynys Môn Local Plan Policy 39 requires provision of an appropriate archaeological response where proposals potentially affect unscheduled archaeological remains. JLDP Policy AT4 seeks the protection of non-designated archaeological sites.

GP22 of the Wylfa Neywdd SPG requires the Island's designated cultural heritage assets and their settings to be conserved or enhanced and for an assessment of archaeological potential for areas affected by development proposals to be undertaken.

With regard to potential archaeology, the assessment identified seven cultural heritage assets within a wider study area, but these are considered to be of low or negligible value, with a low chance of unidentified remains being identified on site. However, in order to ensure residual effects of any archaeological assets are reduced and also in response to the archaeological findings on the main site, a careful removal of topsoil during initial site works will be undertaken. This will identify if any onsite archaeological excavation may be required.

Subject to this mitigation, the proposal will not adversely affect archaeological assets, complying with relevant planning policy. The proposal also avoids impacts on other heritage assets by virtue of avoiding sites which are subject to such designation. The proposal is therefore acceptable with respect to impact on cultural heritage.

## FLOOD RISK

National planning policy relating to flood risk is contained in PPW Chapter 4 (Planning for Sustainability) and Chapter 12 (Infrastructure and Services). This is supported by Technical Advice Note 15: Development and Flood Risk.

The overarching principles contained in these policy documents is that development should be located so as to avoid areas of high flood risk and ensure that the risk of flooding elsewhere is not increased as a result of the development. In assessing flood risk, it is necessary to consider both current climate conditions and those considered likely in the future as a result of climate change.

In selecting a site for this development, land at risk of flooding has been avoided. As the Application Site is not at risk of flooding, there is no requirement to consider further potential flooding impacts on the Application Site. The Environmental Report however does consider the potential for the development to increase flood risk elsewhere through the increase in impermeable surfaces within the Application Site. GP19 of the Wylfa Newydd SPG supports the implementation of Sustainable Drainage Systems to manage surface water and reduce flood risk. The attenuation pond at the north eastern corner of the site captures any additional runoff, and would ensure the development does not increase flood risk elsewhere.

The proposal would therefore comply with planning policy in relation to flood risk and water management subject to the provision of the proposed attenuation pond.

## TRAFFIC AND TRANSPORT

National Planning Policy in respect of traffic and transport is contained in a number of documents including Chapter 4 of PPW (Planning for Sustainability), Chapter 8 of PPW (Transport) and TAN 18: Transport (2007). These require transport implications to be taken into account, including the environmental impact of both transport infrastructure and the traffic generated.

Policy 1 of the Ynys Môn Local Plan includes the requirement for the effects of development of vehicular travel patterns, public rights of way and cycling. Strategic Policy PS4 of the JLDP supports proposals which include sustainable transport options.

GP14 of the Wylfa Newydd SPG requires the project promoter to assess potential impacts on highways infrastructure and to ensure highway improvements are provided where appropriate.

Highways impacts associated with the operational phase of the development would be particularly limited in usual circumstances and would not result in a net increase of traffic in this area given the facilities will be relocated from the existing site. The new access and widening of the junction of the unclassified road and A5025 would ensure that vehicles will access the site in a safe manner.

There are potentially greater impacts during the construction phase. However, measures to manage the impact of construction vehicles entering the site, in the form of widening the access into the site, transferring loads at the main Wylfa Newydd site and management of access along the unclassified road.

Subject to these measures being secured by condition, the proposal would be acceptable in relation to traffic and transport impacts and comply with the relevant policy provisions. The slight widening of the junction of the unclassified road and the A5025 will provide a benefit for all users of this road, and not just operatives accessing the site compound.

## RESIDENTIAL AMENITY

National planning policy regarding local amenity is contained in PPW Chapter 13 Minimising and Managing Environmental Risks and Pollution and TAN 12: Design. These seek to limit harmful impacts of development on the amenity of residents as a result of development.

Ynys Môn Local Plan Policy 1 includes the requirement to take into account pollution or nuisance problems. Stopped UDP Policy GP1 states that development will be permitted where it does not cause significant harm to people, general amenity, residential amenity and the environment.

GP7 of the Wylfa Newydd SPG states that development should not be proposed where construction or operational activities would give rise to unacceptable impacts on air quality, noise or vibration and light pollution and the amenity of existing residents, visitors, businesses and construction workers is not adversely affected.

The proposed use would in usual circumstances be particularly benign, generating few vehicle movements and limited activity. The size and position of the building would also mean there would not be harmful effects on loss of light and privacy. The Environmental Report considers potential noise and air quality effects of the operational period and finds there would not be a material impact. Potential effects on both noise and air quality are identified during the construction period. However, the use of appropriate construction methods would ensure significant impacts are not experienced by nearby residents. Such methodology can be secured by condition.

Subject to appropriate construction methods, the proposal would not cause significant harm to amenity and would comply with relevant policy requirements.

## AGRICULTURAL LAND

PPW requires agricultural land of grades 1, 2 and 3a (best and most versatile land) to be conserved, confirming considerable weight should be given to protecting such land from development. The requirement to protect best and most versatile land is confirmed at a local level at Ynys Môn Local Plan Policy 1. GP20 of the Wylfa Newydd SPG seeks to minimise the loss of such land.

The site is currently in agricultural use and The Environmental Report confirms that its class is recognised as being 3a, so constituting best and most versatile land. In this respect the proposal is not consistent with planning policies, which seek the protection of such land. However, it is instructive to note that the proposal relates to a small area of land only, representing just a portion of the field in which it is located. Furthermore, the land quality is not of the very highest quality. While these considerations should somewhat reduce the significance of the policy conflict, Horizon recognises the lack of consistency with policy in this instance does weigh against the proposal in determining the planning balance.

## WELSH LANGUAGE

National Planning Policy regarding the Welsh language is contained in Chapter 4 of PPW (Planning for Sustainability) and TAN 20: Planning and the Welsh Language. PPW states the Welsh language is part of the social and cultural fabric of Wales and that the Welsh Government is committed to ensuring that the Welsh language is supported and encouraged to flourish as a language of many communities all over Wales. It is confirmed considerations relating to the use of the Welsh language may be taken into account by decision makers so far as they are material to applications for planning permission.

At local level, the Strategic Policy 5 of the Gwynedd Structure Plan recognises the Welsh language as a material consideration and Policy 1 of the Ynys Môn Local Plan confirms the Council will take the needs and interests of the Welsh language into account when determining applications. The Stopped UDP confirms the Welsh language will be promoted and protected and the emerging JDLP Strategic Policy PS1 states that the Council will protect and support Welsh language.

The Wylfa Newydd SPG at GP13 confirms the County Council considers it essential that the Wylfa Newydd Project maintains and, where possible, strengthens Welsh language and culture as an important part of the island's social fabric and community identity.

The nature of the proposals would mean that impacts on Welsh language would be very limited, both during construction and once operational. The construction period will not involve a significant number of operatives on site and will not take place over a prolonged period. The proposals involve the relocation of existing facilities and employment associated with them. As such, the development will not result in further employees visiting the area than existing which may have an effect on the Welsh language.

Given this, the proposal would protect the Welsh language and meet the requirements of planning policy in this regard.

## CONCLUSION

The principle of this development at the Application Site has been shown to be acceptable. The facility has specific functional requirements which significantly reduce the locations at which this could be located. Within that context, the selection of this site avoids land which is subject to designation or would potentially be required for the new Power Station and abuts the existing extent of Tregele, so draws support in planning policy terms for the location of development providing employment and sustainable transport options. The suitability of the proposed location for the development and the safeguarding of local employment as a result of the proposal therefore weighs in favour of the proposal.

The assessment of impact associated with the development has demonstrated any adverse effects would be particularly limited, with the exception of the loss of higher quality agricultural land value of the site.

Potential adverse impacts identified through the construction phase on matters such as noise, air quality, archaeology and ecology can be adequately mitigated through employing appropriate construction methods and, once operational, impacts will be limited to the loss of a small amount of best and most versatile agricultural land and localised and low impacts on landscape character. The loss of the agricultural land does weigh against the proposal. However the significance is tempered by the relatively small area of land required and as it is not of the very highest quality. Traffic and operational impacts would be negligible due to the benign nature of the use. Other impacts can all be effectively mitigated through conditions and, therefore, comply with planning policy requirements and should not weigh in any significant sense against planning permission being granted.

Further to the above, the ecological enhancement measures included in the proposals would result in a net biodiversity benefit which is supported in planning policy. This enhancement adds further weight in favour of the development.

Taking the above into consideration, it can be concluded that, on balance, the development meets planning policy requirements, with no significant harm identified and no adverse impacts that cannot be adequately mitigated through either the design of the scheme or by condition. The location of the site draws in principle support from planning policy, ecological enhancements and road improvements are matters which weigh in favour of the proposal.

As such, when considering all material considerations, the proposal has, on balance, been shown to be acceptable in planning terms and therefore planning permission should be granted.

# Appendix 1

**AIRWAVE SOLUTIONS**

**ICNIRP COMPLIANCE NOTICE**

**PREDICTED FIELD STRENGTHS FOR NEW AIRWAVE INSTALLATION**

The following calculations have been completed for the proposed site at:-  
 Name           Magnox Alternative Premises – AECC and DSL  
 Address

NGR            235825 392830

The transmit function of this site comprises of 1 *omni-directional* antenna mounted 5m above ground level with 1 carrier calculated with minimum 1dB insertion loss at 1.5m above the ground, gives the following power flux densities.

It can be seen that the maximum signal strength reaches the ground at approximately 0m away, with a predicted level of 1.028% of the ICNIRP guideline for public exposure of 2W/m<sup>2</sup> for 400Mhz.

This demonstrates that the installation conforms with the current ICNIRP public exposure guidelines and conforms with the precautionary approach recommended by the 'independent expert group on mobile phones (Stewart), meeting the requirements laid down in Planning Policy Guide 8

Signed.....  
 For and on behalf of Airwave Solutions Limited

Date..... 14/07/15 .....









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**ICNIRP COMPLIANCE NOTICE**

Predicted field strengths for new UHF Installation  
 The following calculations have been completed for the proposed site at:- NGR   235825   392830  
 Name           Magnox Alternative Premises – AECC and DSL

**Apex Radio Systems Ltd.**  
 102 Tarncliffe Road  
 Denton Burn  
 Newcastle upon Tyne  
 NE13 7DQ  
 Tel: 0191 228 0466  
 Fax: 0191 228 0467  
 web: www.apexradio.com  
 e-mail: info@apexradio.com

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The transmit function of this installation comprises a ¼ wave omni directional dipole 5 metres above ground level. RF Power will be set to 5Watts at the equipment. It is expected that feeder losses will be 3dB.

It can be seen from the above graph that the maximum signal strength reaching the ground is approximately 0 metres away at a predicted level of 0.9% of the ICNIRP guideline for public exposure of 2W/m<sup>2</sup> for 460Mhz.

This demonstrates that the installation will conform with current ICNIRP public exposure guidelines and conforms with the precautionary approach recommended by the independent expert group on mobile phones (Stewart), meeting the requirements laid down in Planning Policy Guide 8

Signed.....  
 For and on behalf of Apex Radio Systems Ltd

Date 23/8/2015

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Registered Office: 102 Tarncliffe Road, Denton Burn, Newcastle upon Tyne, NE13 7DQ  
 Registered in England No: 2483670      VAT Reg. No: 551 8440 21      Directors: J.B. Curry (Managing)      J.C. Curry (Secretary)

## Appendix 2



Horizon Nuclear Power Wyflfa Limited  
523D Valiant Court  
Gloucester Business Park  
Delta Way Gloucester, GL3 4FE  
T +44 (0) 845 300 6816

ENERGY WORKING FOR BRITAIN

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3 February 2016

Address One  
Address Two  
Address Three  
Address Four  
Postcode

**DCRM Ref. No: HNP-S1-CMT-LET-00041**

Dear XXX,

**Update on the relocation of Magnox support facilities**

As you'll be aware from previous letters, as part of the Wyflfa Newydd Project, Horizon is planning to relocate existing Magnox facilities associated with the former Wyflfa Power Station. This will allow us to clear their existing premises and make way for the proposed development of Wyflfa Newydd.

These facilities are the Magnox Alternative Emergency Control Centre (AECC) and District Survey Laboratory (DSL). As outlined in our previous correspondence, the AECC is used by the Magnox emergency response team as a secondary response hub to the Emergency Control Centre (ECC) on the main site. It contains the IT, communications equipment and rooms necessary for the coordination of a response, if, in the unlikely event of an emergency, the main ECC cannot be used. The DSL, which needs to be co-located with the AECC, is used by Magnox for the preparation and analysis of samples taken from the land surrounding the former power station.

The location of new premises for the AECC and DSL is guided by specific Magnox requirements. Both Horizon and Magnox consider these are best achieved by using land opposite the existing entrance to the former power station. This area of land is both within our site boundary and the government designated National Policy Statement (NPS) boundary, and is therefore suitable for development associated with the construction of new nuclear facilities.

In the past 12 months, we have been evaluating the most appropriate place to site the new premises within this area of land. We've taken into consideration the local landscape, the visual impact of the new premises, the physical constraints created by the overhead power lines and the need to ensure safe access from the A5025. This has led us to conclude that the new premises are best located to the south of the existing overhead power lines and immediately north of Tregel. Please be aware that, apart from our plans to develop new Magnox AECC and DSL facilities, we have no other plans to develop this area of land at this time and will continue to keep local people updated on our Project.

[www.horizonnuclearpower.com](http://www.horizonnuclearpower.com)

Horizon Nuclear Power Wyflfa Limited is a company registered in England & Wales No. 6811957. Registered office Valiant Court, Gloucester Business Park, Delta Way, Gloucester, GL3 4FE.

We propose the new AECC and DSL facilities consist of a single-storey building, accompanied by a small outbuilding and an area for car parking. The development will also need to be enclosed by a security fence to meet the regulatory requirements for premises associated with a nuclear facility. Once constructed, the DSL will be used intermittently, by a small workforce, within normal office hours. The AECC would only be used intermittently during emergency training exercises and in the unlikely event of an emergency requiring its use.

As a responsible developer, we'd like to provide more detail about our proposals for these new premises and give you the opportunity to ask any questions you may have before we submit a planning application to Isle of Anglesey County Council this spring.

**On Monday 15 February we'll be holding an Open Surgery in Cemaes Village Hall from 1pm to 7pm, and we encourage you to come along, view these proposals in more detail and meet the team. You don't need to make an appointment.**

In the meantime, you can always contact us via our Wyflfa Newydd freephone hotline on 0800 954 9516 or email [wylfaenquiries@horizonnuclearpower.com](mailto:wylfaenquiries@horizonnuclearpower.com).

Yours sincerely,



Charlie Tasker  
Site Development Director  
Horizon Nuclear Power

CONTACT US:

If you have any questions or feedback regarding the Wylfa Newydd Project you can contact us on our dedicated Wylfa Newydd freephone hotline and email address, by calling on **0800 954 9516** or emailing **wylfaenquiries@horizonnuclearpower.com**

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